

TOWN OF SELMA UNION STATION IMPROVEMENTS



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ISSUE	ISSUANCE	DATE
A	50% CD PHASE REVIEW	03/18/2022
B	90% CD PHASE REVIEW	05/20/2022
0	BID DOCUMENT	06/20/2022

PROJECT PHOTO



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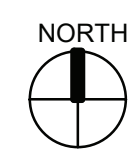
INDEX OF DRAWINGS

GENERAL	
G000	COVER PAGE
ARCHITECTURE	
A101	FLOOR AND CEILING PLANS
A102	ROOF PLAN
A103	ROOF DETAILS
A104	ROOF DETAILS
A201	ELEVATIONS

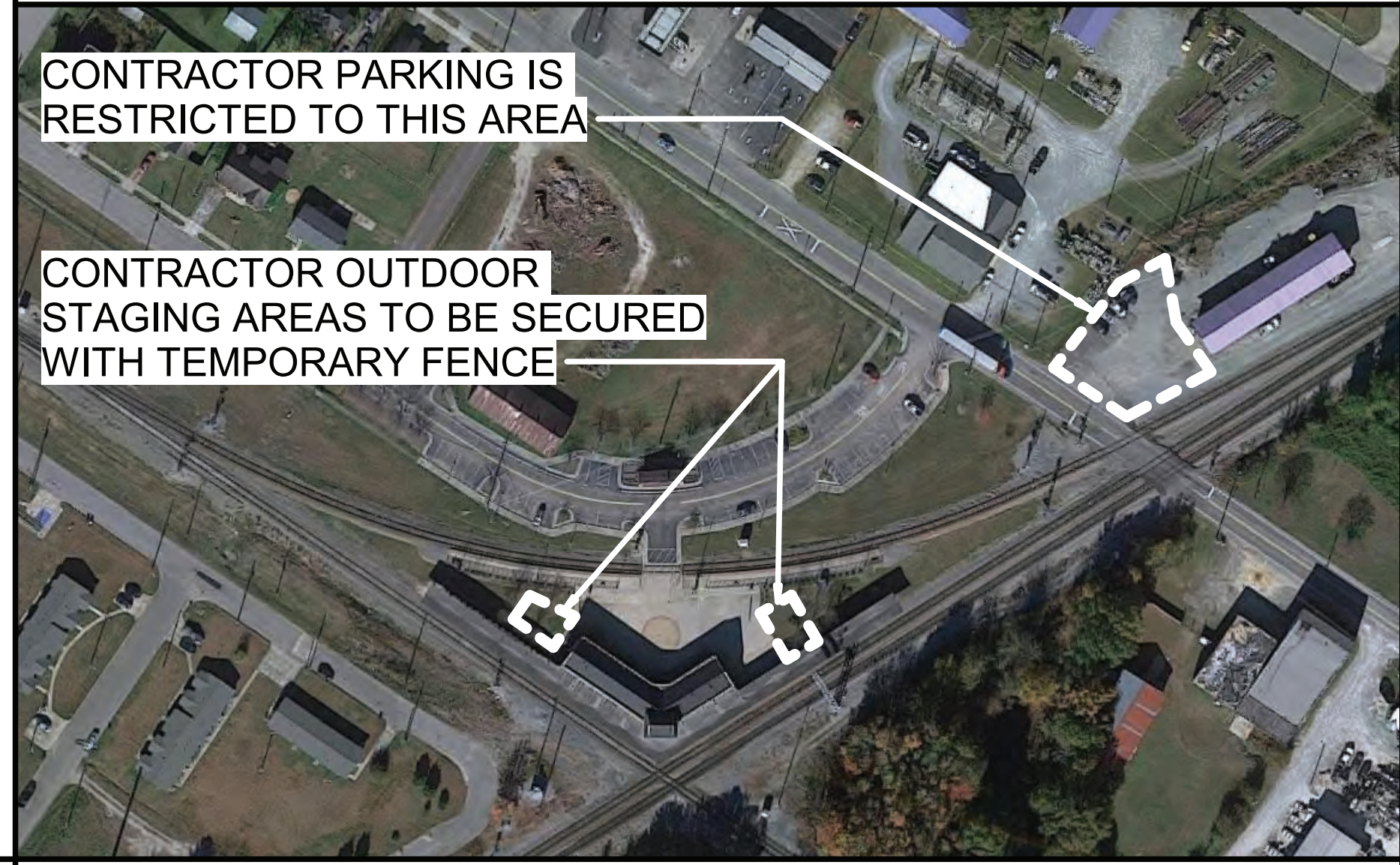
CONSULTANTS
R. TAD FURROW, PE



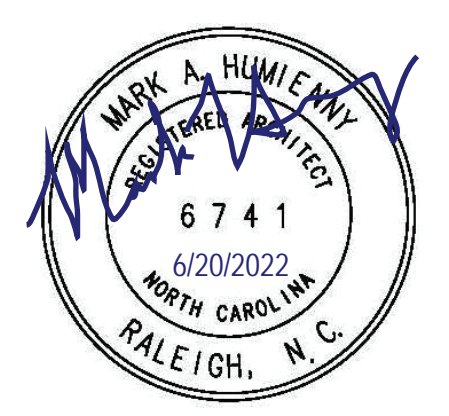
SITE LOCATION MAP



STAGING PLAN

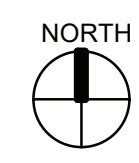
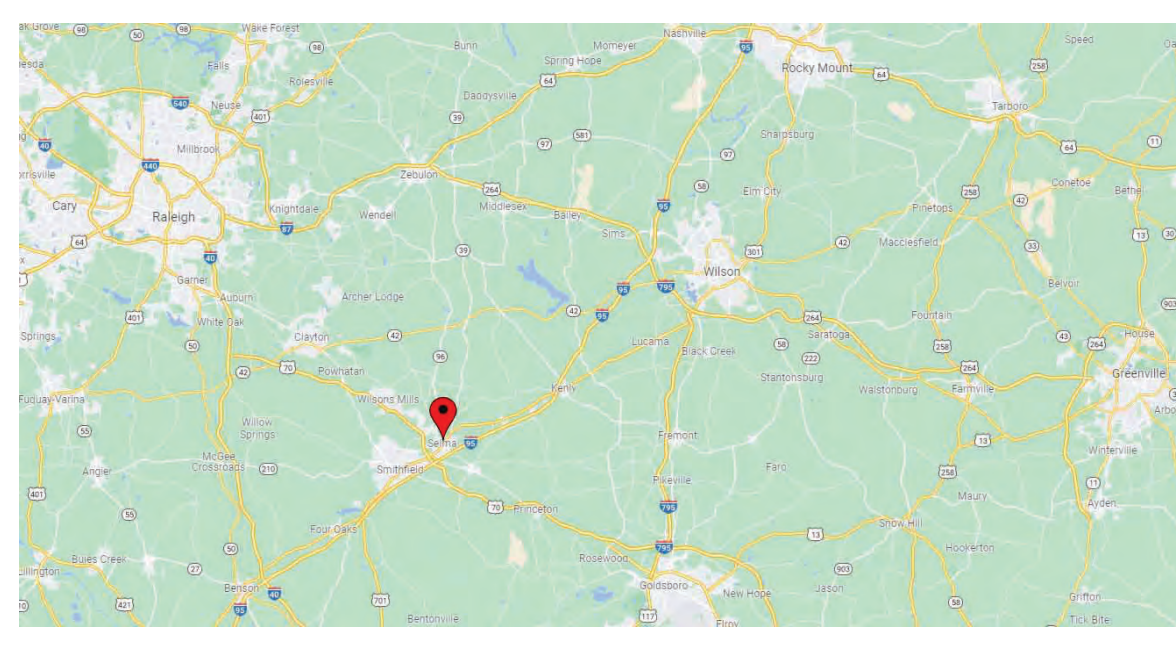


SEAL



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VICINITY MAP



PROJECT DESCRIPTION

THE PROJECT IS FOR ROOF FLASHING AND INTERIOR FINISH REPAIRS AT THE HISTORIC RAILROAD PROPERTY KNOWN AS THE SELMA UNION STATION ("THE DEPOT"). THIS 1923 STRUCTURE IS ON THE NATIONAL REGISTER OF HISTORIC PLACES. THE BUILDING WAS COMPREHENSIVELY RENOVATED IN 2002, INCLUDING AN ALL NEW ROOF, ASSOCIATED FLASHING AND PARAPET COPING, BRICK RE-POINTING AND ALL NEW INTERIOR FINISHES. THIS PROJECT'S DESIGN IMPROVEMENTS ARE INTENDED TO REDUCE WATER INFILTRATION THROUGH THE ROOF'S FLASHINGS, GUTTERS, AND PARAPET WALLS AS WELL AS THE REPAIR OF INTERIOR SURFACE FINISHES. THE WORK GENERALLY CONSISTS OF THE FOLLOWING: NEW ROOF FLASHINGS AND FLASHING LINER MEMBRANE; NEW METAL FLASHING ON GABLE END PARAPET WALLS; NEW MEMBRANE LINER FLASHING ON EAVE PARAPET WALLS; SEALING MINOR CRACKS IN EXTERIOR BRICK, STONE AND CONCRETE TRIM; INTERIOR PLASTER REPAIRS INCLUDING LIMITED REMOVAL OF CERAMIC TILE INSTALLED DURING THE 2002 RENOVATION; RE-PAINTING WALLS AND CEILING USING SAME COLORS AS EXISTING. THE PROJECT INCLUDES BID ALTERNATES.

PROJECT
Union Station Improvements
500 East Railroad St
Selma, NC
27576

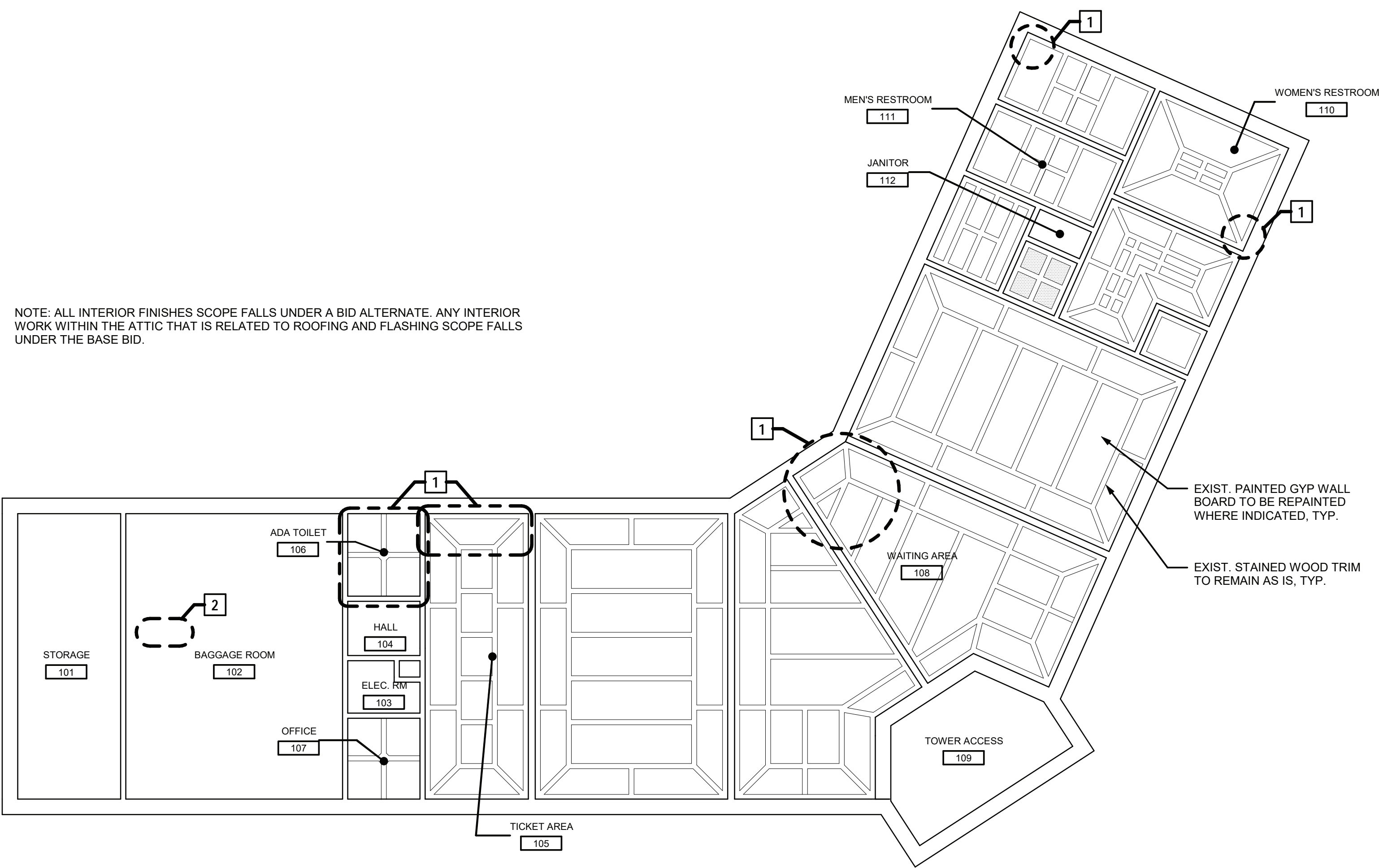
PROJECT NO: 137370	CHECKED BY: S.Tucker
DRAWN BY: C.McCarville	APPROVED BY: M.Humienny
PROJECT MGR: M.Humienny	DATE: 7/12/22
SCALE: AS NOTED	

SHEET TITLE
COVER PAGE

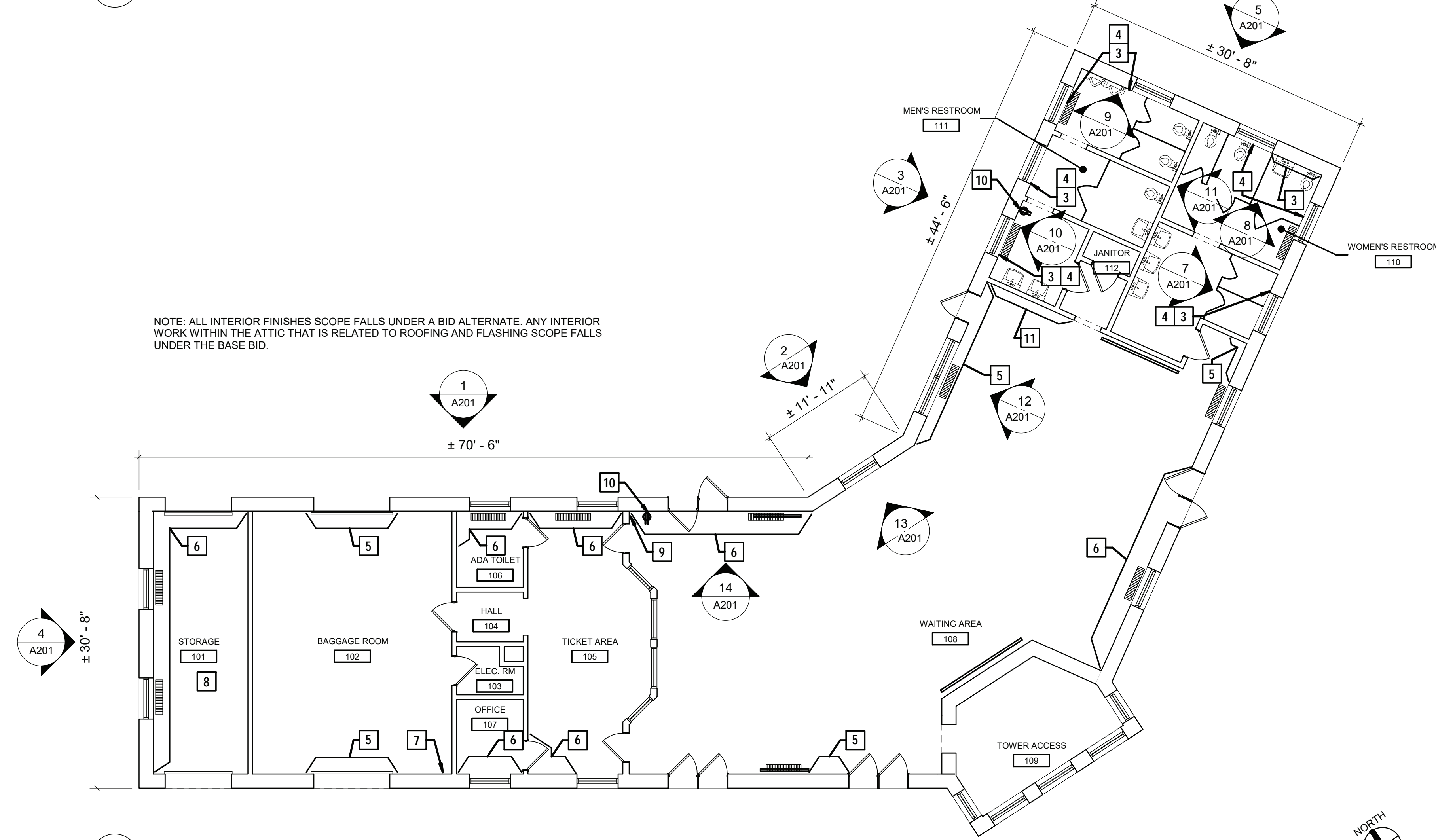
SHEET NUMBER G000	ISSUE 0
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2 FIRST FLOOR REFLECTED CEILING PLAN
A101 Scale: 1: 100



1 FIRST FLOOR PLAN
A101 Scale: 1/8" = 1'-0"

NOTE: ALL INTERIOR FINISHES SCOPE FALLS UNDER A BID ALTERNATE. ANY INTERIOR WORK WITHIN THE ATTIC THAT IS RELATED TO ROOFING AND FLASHING SCOPE FALLS UNDER THE BASE BID.

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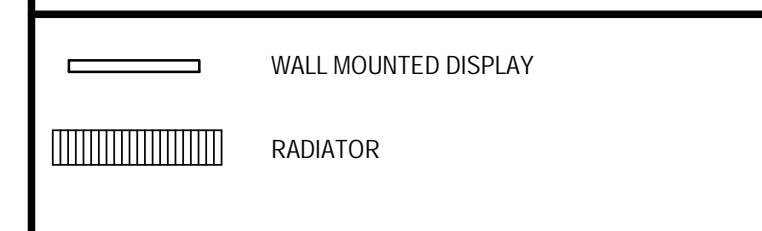
GENERAL NOTES

1. REMOVAL OF CERAMIC TILE WAINSCOT AND REPAIRS TO PLASTER WALLS WILL REQUIRE REMOVAL AND REINSTALLATION OF RADIATORS, MARBLE TOILET PARTITIONS & ACCESSORIES, FIRE EXTINGUISHERS, LAVATORIES, WALL MOUNTED DISPLAYS, ALARM NOTIFICATION DEVICES (HORN, STROBES), AS WELL AS PARTIAL REMOVAL AND REINSTALLATION OF ELECTRICAL LIGHT FIXTURES AND DEVICES, SUCH AS FACEPLATES. DO NOT DISCONNECT FIRE ALARM DEVICE WIRING. MAINTAIN COMPLETE FIRE ALARM COVERAGE AT ALL TIMES.
2. ALL ROOF AND EXTERIOR WORK IS TO BE COMPLETED, THEN TESTED BY CONTRACTOR, FOLLOWED BY OWNER REPRESENTATIVE ACCEPTANCE PRIOR TO BEGINNING INTERIOR WORK.
3. OWNER IS RESPONSIBLE FOR REMOVAL OF ALL LOOSE FURNITURE, EQUIPMENT, AND DISPLAYS AS MAY BE REQUIRED BY THE WORK. CONTRACTOR IS TO NOTIFY OWNER OF LOOSE ITEMS TO BE REMOVED TWO WEEKS IN ADVANCE.
4. THE CONTRACTOR SHALL REVIEW THE DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK, INCLUDING ALL TRADES.
5. REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
6. REPAINT ALL FIRST FLOOR WALL PLASTER AND CEILING DRYWALL/PLASTER SURFACES THROUGHOUT INTERIOR OF BUILDING, EXCEPT FOR STORAGE 101, ELECTRICAL ROOM 103, BAGGAGE 102, JANITOR 112. EXISTING WOOD TRIM FINISH TO REMAIN AS IS, EXCEPT WHERE NOTED OTHERWISE.
7. APPLY SEALANT BETWEEN WOOD FRAME AND PLASTER WALL, TYP. AT ALL WOOD FRAMED OPENINGS IN ROOMS TO BE PAINTED.
8. ACCORDING TO ORIGINAL 1923 CONSTRUCTION DRAWINGS INTERIOR PLASTER IS APPLIED DIRECTLY TO RIBBED TERRA COTTA MASONRY.
9. OVERALL BUILDING DIMENSIONS ARE PROVIDED AS A SCALE REFERENCE ONLY AND ARE BASED ON ORIGINAL CONSTRUCTION DRAWINGS, NOT FIELD MEASUREMENTS.
10. ALL INTERIOR FINISHES WORK IS A BID ALTERNATE, INCLUDING PLASTER REPAIR.

KEYNOTES - PLAN

- 1 PATCH EXIST. GWB CEILING, APPLY MILDEWICIDE AND PRIME FOR PAINTING
- 2 SCRAPE, PUTTY, SAND AND PRIME WOOD SLAT CLG FOR RE-PAINTING APPROX 2'x8' AREA.
- 3 REMOVE 6-FT H THIN-SET GLAZED WALL TILE WAINSCOT, PATCH AND REPAIR PLASTER WALL, AND PRIME FOR RE-PAINTING. REMOVE AND RE-INSTALL ALL TOILET ACCESSORIES, RADIATORS AND FIXTURES AS REQD.
- 4 PATCH AND REPAIR FULL HEIGHT OF PLASTER WALL, AND PRIME FOR RE-PAINTING. REMOVE AND RE-INSTALL ALL TOILET ACCESSORIES, RADIATORS AND FIXTURES AS REQD.
- 5 PATCH AND REPAIR UPPERMOST 4-FT OF PLASTER WALL, AND PRIME FOR RE-PAINTING.
- 6 PATCH AND REPAIR FULL HEIGHT OF PLASTER WALL, AND PRIME FOR RE-PAINTING. REMOVE AND RE-INSTALL ALL FIRE ALARM AND WALL SWITCH DEVICES, RADIATORS AND FIXTURES AS REQD. RE-SECURE CONDUITS IN A CODE-COMPLIANT MANNER AFTER WALL REPAIR.
- 7 SPOT PATCH PLASTER, PRIME, AND REPAINT APPROX. 2'x2' WALL AREA NEAR CLG.
- 8 TEMPORARY LOOSEN SURFACE-MOUNTED CONDUITS THROUGHOUT THIS ROOM TO REPAIR WALL SURFACE BEHIND DEVICE. DO NOT DISCONNECT DEVICES.
- 9 REMOVE AND REPLACE DETERIORATED PLASTER FULL-HEIGHT BETWEEN DOOR JAMB AND CORNER.
- 10 REMOVE AND REPLACE DUPLEX RECEPTACLE AND S.S. FACE PLATE TO MATCH EXIST. REUSE EXIST. WIRING.
- 11 THIS PLASTER WALL SERVES AS THE QUALITY STANDARD FOR PLASTER SURFACE FINISH. ALL PLASTER REPAIRS ARE TO MATCH THE SMOOTHNESS AND TEXTURE OF THIS WALL TO THE EXTENT FEASIBLE.

LEGEND



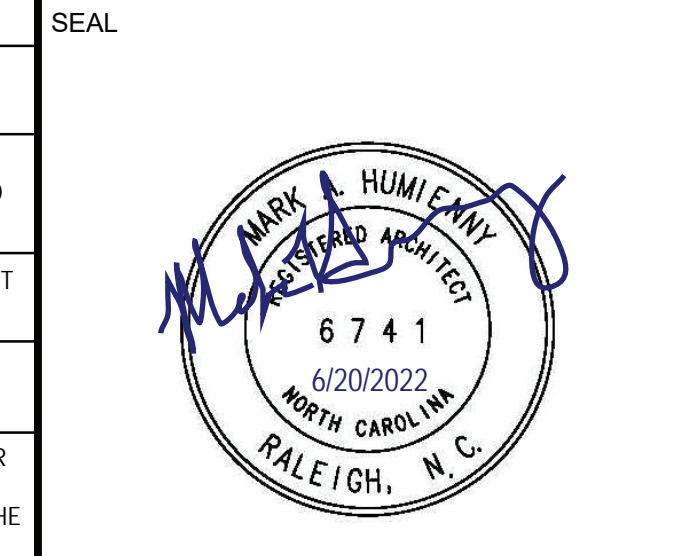
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CONSULTANTS
R. TAD FURROW, PE



SEAL



PRIME CONSULTANT



PROJECT
Union Station Improvements
500 East Railroad St
Selma, NC
27576

PROJECT NO: 137370
DRAWN BY: C.McCarville
CHECKED BY: S.Tucker
PROJECT MGR: M.Humienny
APPROVED BY: M.Humienny
SCALE: As Indicated
DATE: 7/12/22

SHEET TITLE
FLOOR AND CEILING PLANS

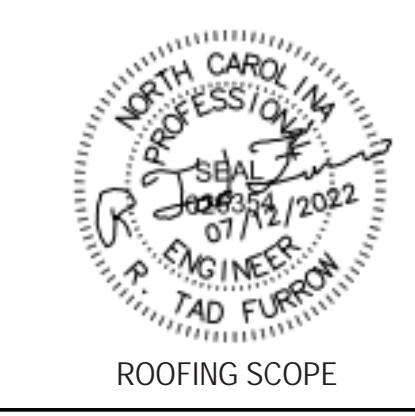
SHEET NUMBER A101 **ISSUE** 0



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ROOFING SCOPE



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PROJECT
Union Station Improvements
 500 East Railroad St
 Selma, NC
 27576

PROJECT NO: 137370
DRAWN BY: C.McCarville/T.Furrow
CHECKED BY: S.Tucker
PROJECT MGR: M.Humienny
APPROVED BY: M.Humienny
SCALE: 1/8" = 1'-0"
DATE: 7/12/22

SHEET TITLE
ROOF PLAN

SHEET NUMBER A102
ISSUE 0

SUMMARY OF WORK

CAREFULLY REMOVE EXISTING COPING STONES. NUMBER STONES FOR REINSTALLATION IN THE SAME LOCATION AND SET ASIDE FOR REUSE.

DISENGAGE BOTTOM COURSE OF COPPER SHINGLES. SAVE ALL EXISTING INSULATION SHIMS FOR REUSE.

REMOVE EXISTING COPPER EXPANSION JOINTS

PREP EXISTING COPPER GUTTER LINER AND PARAPET WALL. FULLY ADHERE EPDM LINER TO COPPER. SLIGHTLY OPEN FOLD IN COPPER LINER AND SECURE EPDM MEMBRANE IN FOLD. REINSTALL COPPER SHINGLES. EXTEND EPDM UP PARAPET AND SECURE WITH TERMINATION BAR.

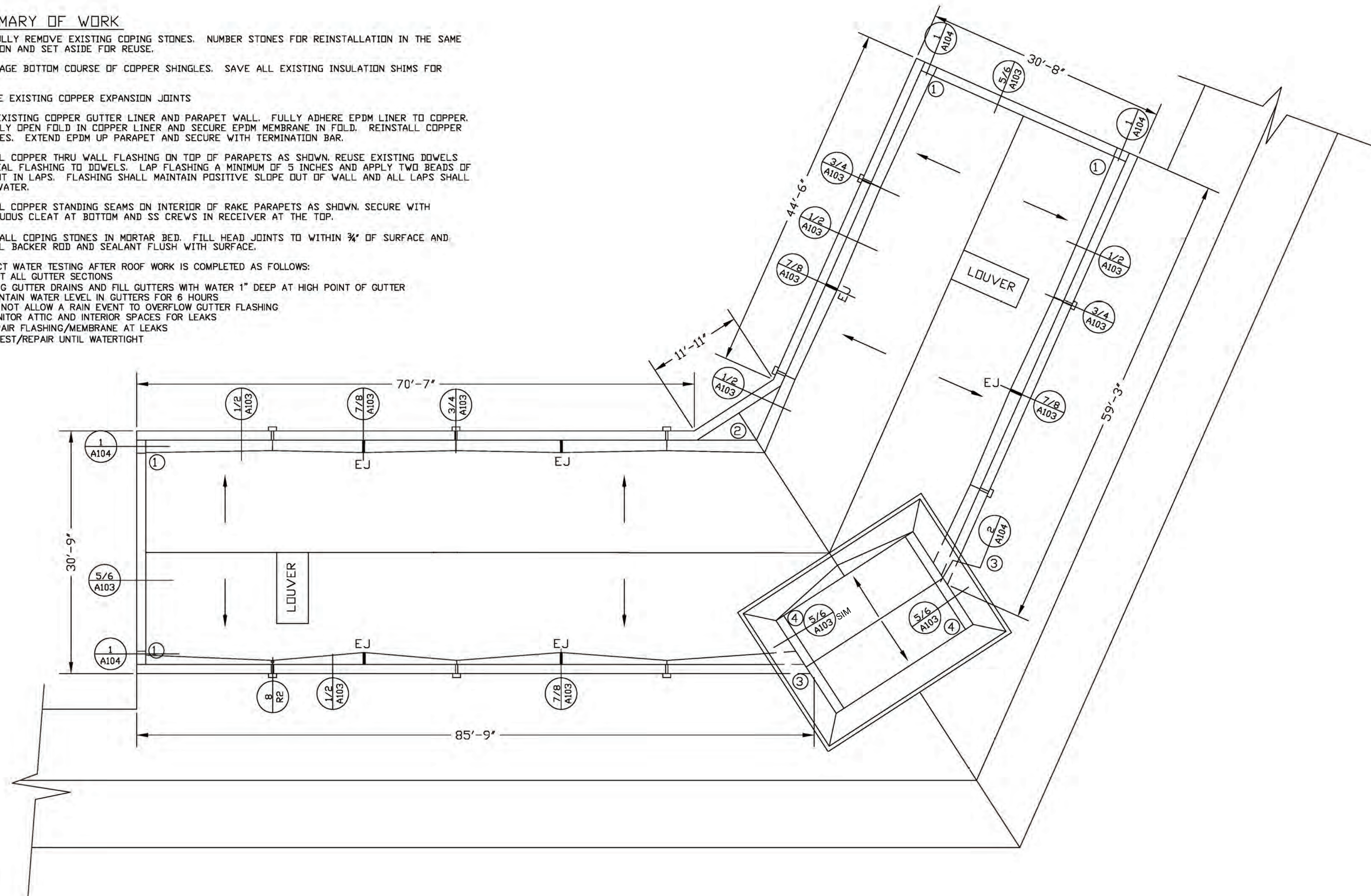
INSTALL COPPER THRU WALL FLASHING ON TOP OF PARAPETS AS SHOWN. REUSE EXISTING DOWELS AND SEAL FLASHING TO DOWELS. LAP FLASHING A MINIMUM OF 5 INCHES AND APPLY TWO BEADS OF SEALANT IN LAPS. FLASHING SHALL MAINTAIN POSITIVE SLOPE OUT OF WALL AND ALL LAPS SHALL SHED WATER.

INSTALL COPPER STANDING SEAMS ON INTERIOR OF RAKE PARAPETS AS SHOWN. SECURE WITH CONTINUOUS CLEAT AT BOTTOM AND SS CREWS IN RECEIVER AT THE TOP.

REINSTALL COPING STONES IN MORTAR BED. FILL HEAD JOINTS TO WITHIN 3/4" OF SURFACE AND INSTALL BACKER ROD AND SEALANT FLUSH WITH SURFACE.

CONDUCT WATER TESTING AFTER ROOF WORK IS COMPLETED AS FOLLOWS:

- TEST ALL GUTTER SECTIONS
- PLUG GUTTER DRAINS AND FILL GUTTERS WITH WATER 1" DEEP AT HIGH POINT OF GUTTER
- MAINTAIN WATER LEVEL IN GUTTERS FOR 6 HOURS
- DO NOT ALLOW A RAIN EVENT TO OVERFLOW GUTTER FLASHING
- MONITOR ATTIC AND INTERIOR SPACES FOR LEAKS
- REPAIR FLASHING/MEMBRANE AT LEAKS
- RETEST/REPAIR UNTIL WATERTIGHT



GENERAL NOTES:

FIELD VERIFY ALL QUANTITIES AND DIMENSIONS

BUILDING WILL BE PARTIALLY OCCUPIED DURING WORK. PROTECT ALL PEDESTRIANS AND VEHICLES FROM CONSTRUCTION DEBRIS/MATERIALS

DO NOT TEAR OFF MORE MATERIAL THAN CAN BE MADE WATERTIGHT IN THE SAME DAY.

PROVIDE WATERTIGHT GUTTER SYSTEM

MASONRY WALLS ARE A MIXTURE OF BRICK AND OPEN CELL CLAY TILE. USE A COMBINATION OF LEAD EXPANSION NAIL/FASTENERS IN SOLID MASONRY AND MASONRY SCREWS TO ADEQUATELY FASTEN CLEATS AND TERMINATION BARS. LOCATE FASTENERS IN MORTAR JOINTS WHERE SPACING ALLOWS

KEYED NOTES

- 1 PARAPET END FLASHING, SEE 1/A104
- 2 VALLEY FLASHING, FLASH SIMILAR TO 1,2/A103 AND EXTEND 60 MIL EPDM MEMBRANE ACROSS WIDENED GUTTER AT INTERSECTION OF BUILDING WINGS
- 3 TOWER FLASHING, SEE 2/A104
- 4 REMOVE TOWER COPING STONES AND INSTALL COPPER THRU WALL FLASHING ON SLOPED PARAPET SIMILAR TO DETAIL 5/6 ON A103. USE REMOVABLE SHORT COUNTERFLASHING THAT EXTENDS OVER WALL FLASHING AT COPPER SHINGLES IN PLACE OF STANDING SEAM PANELS. SECURE COUNTERFLASHING TO RECEIVER IN THRU WALL FLASHING AND WITH STORM CLEATS 16" ON CENTER AT BOTTOM OF FLASHING

LEGEND

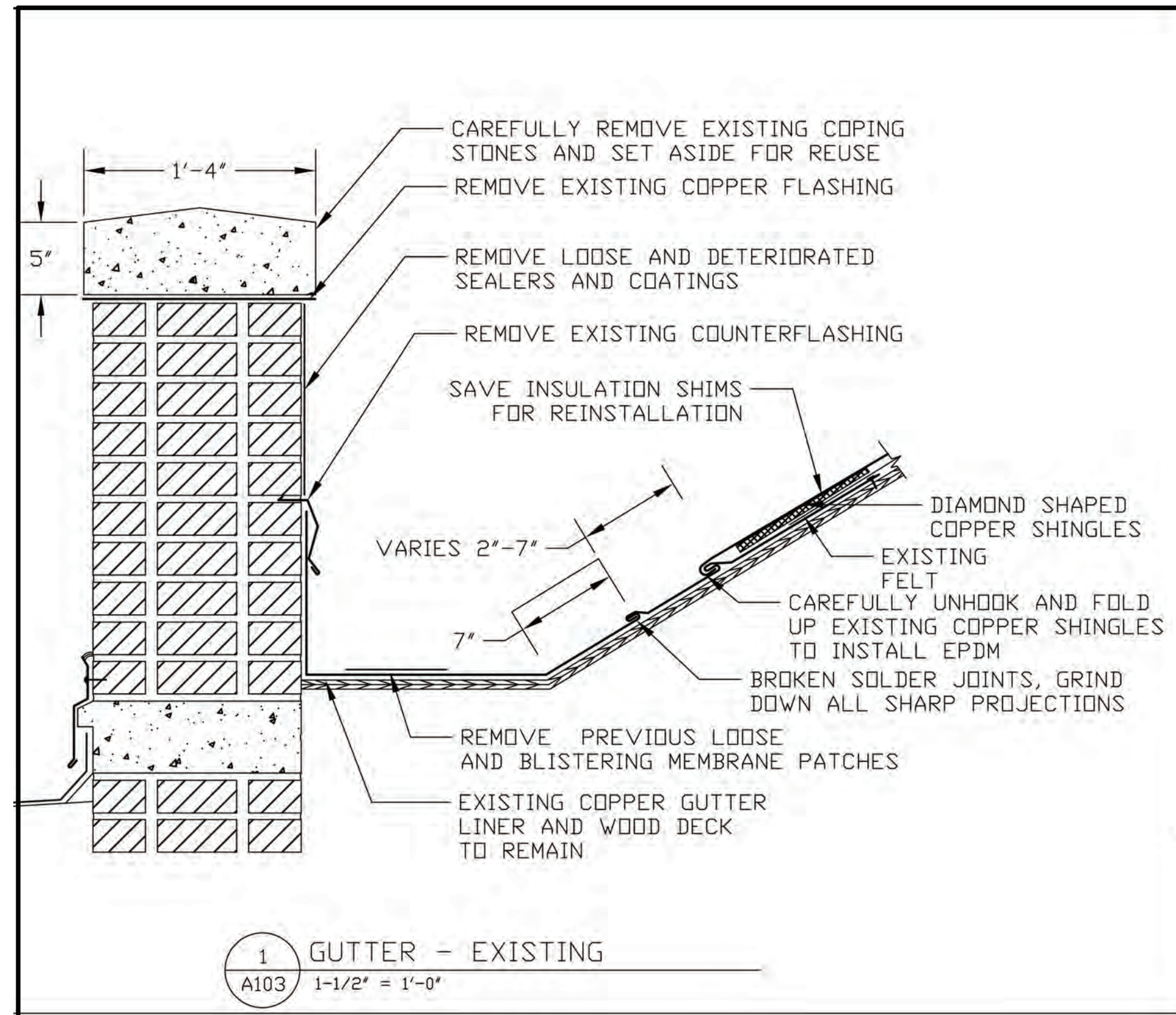
- ROOF SLOPE
- ☐ PARAPET DRAIN AND CONDUCTOR HEAD
- EJ COPPER GUTTER LINER EXP. JOINT
- VENT PIPE/CONDUIT

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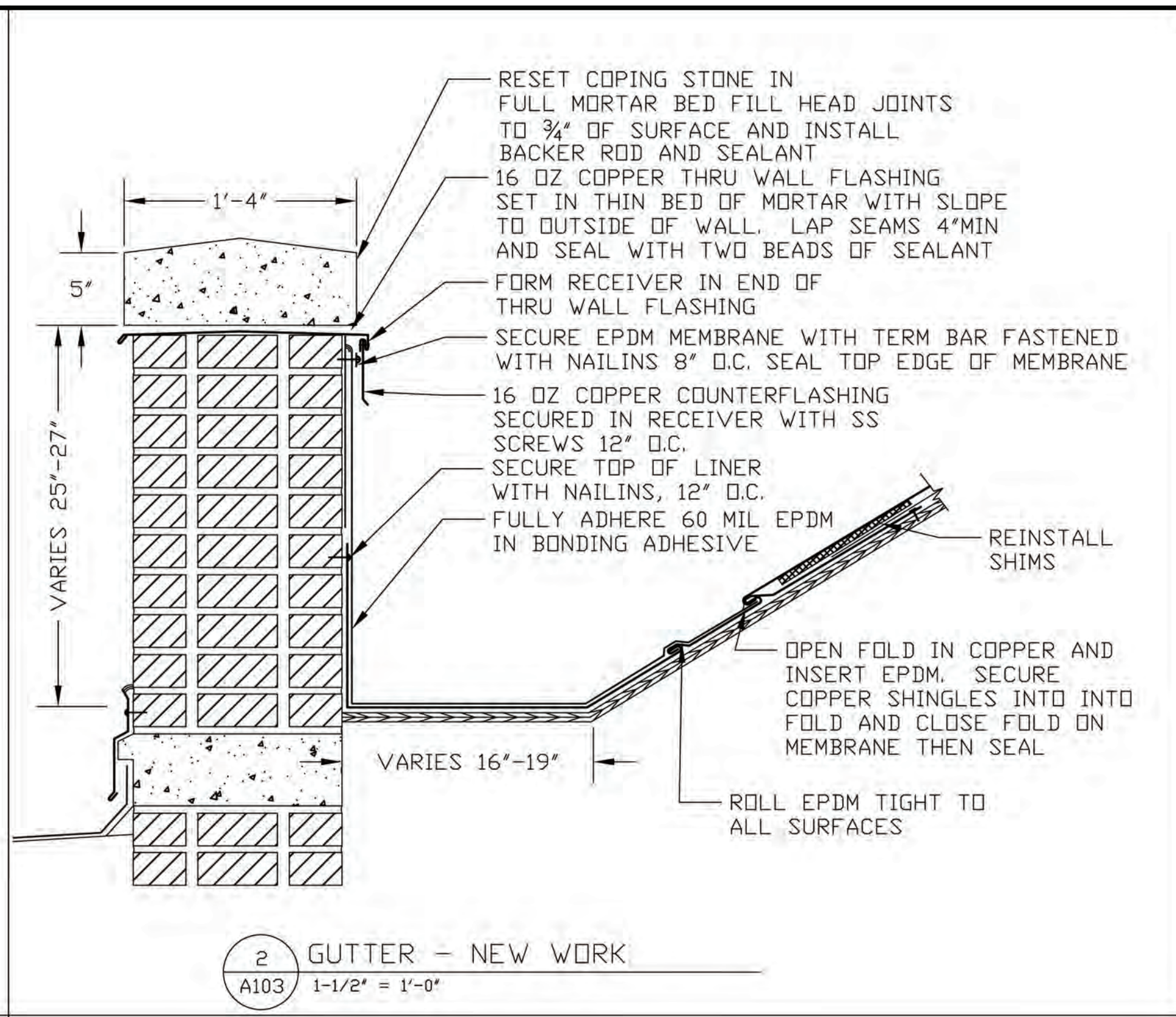
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A102
ROOF PLAN
 Scale: 1/8" = 1'-0"



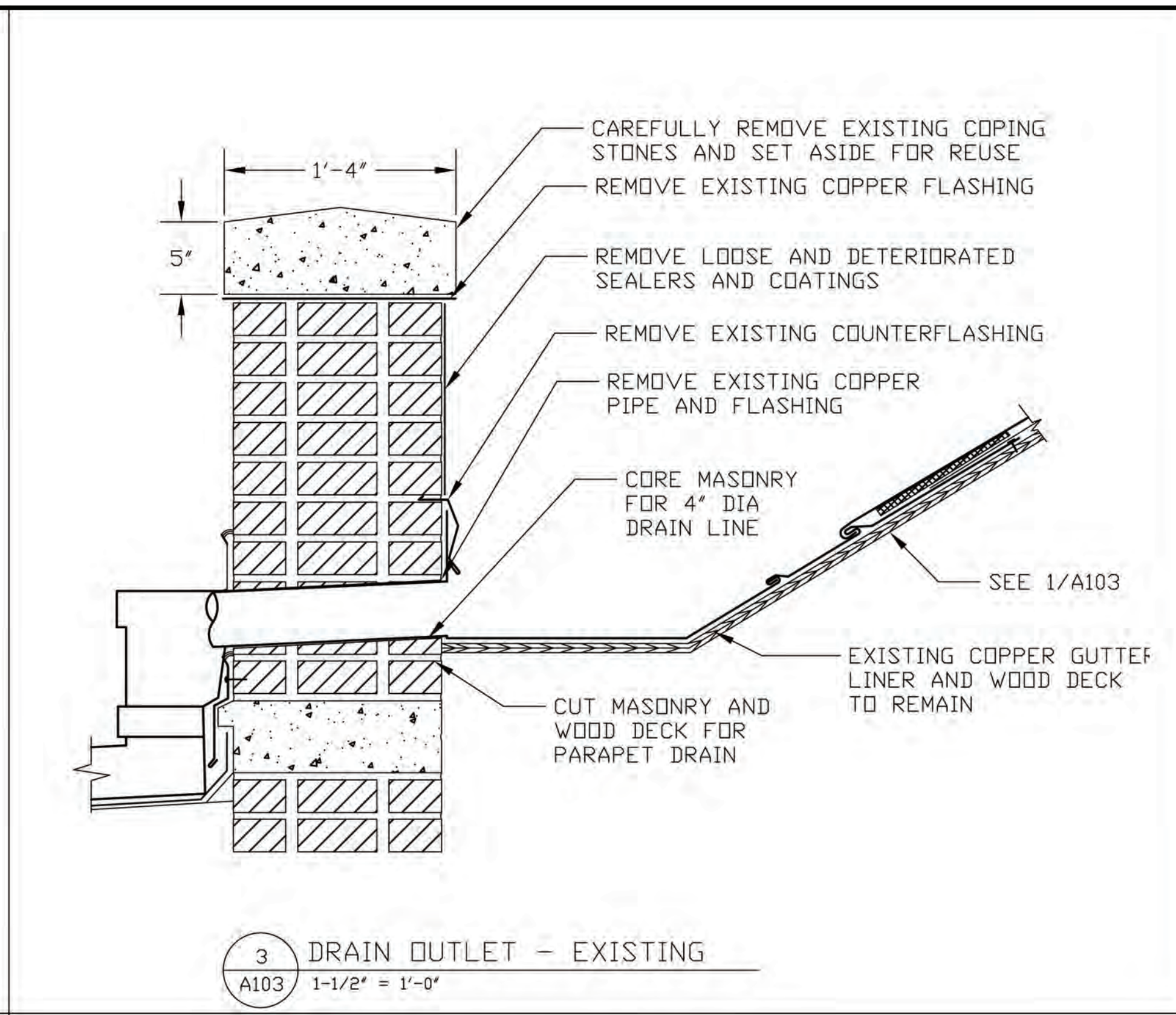
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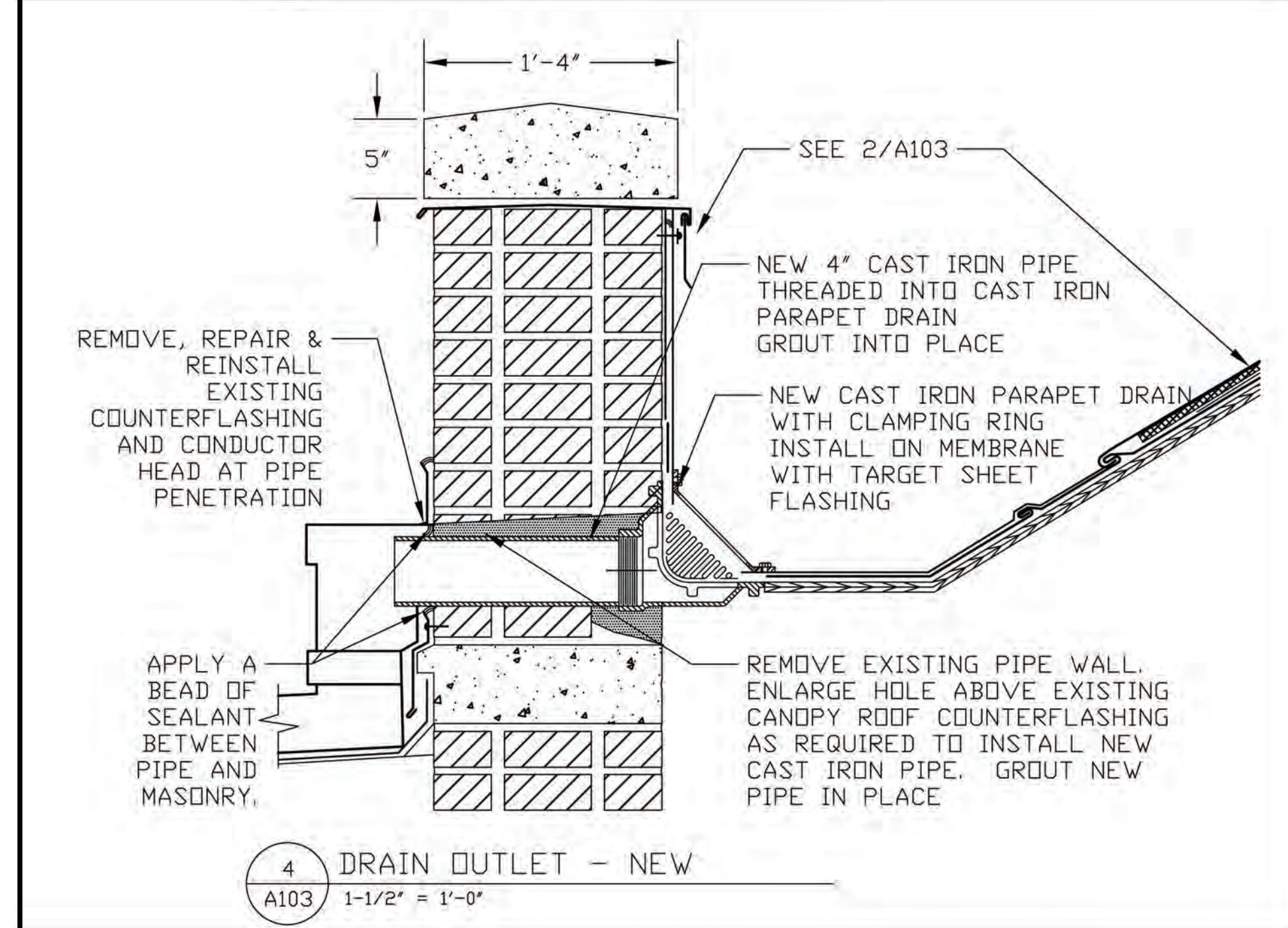
1 GUTTER - EXISTING
A103 1-1/2" = 1'-0"



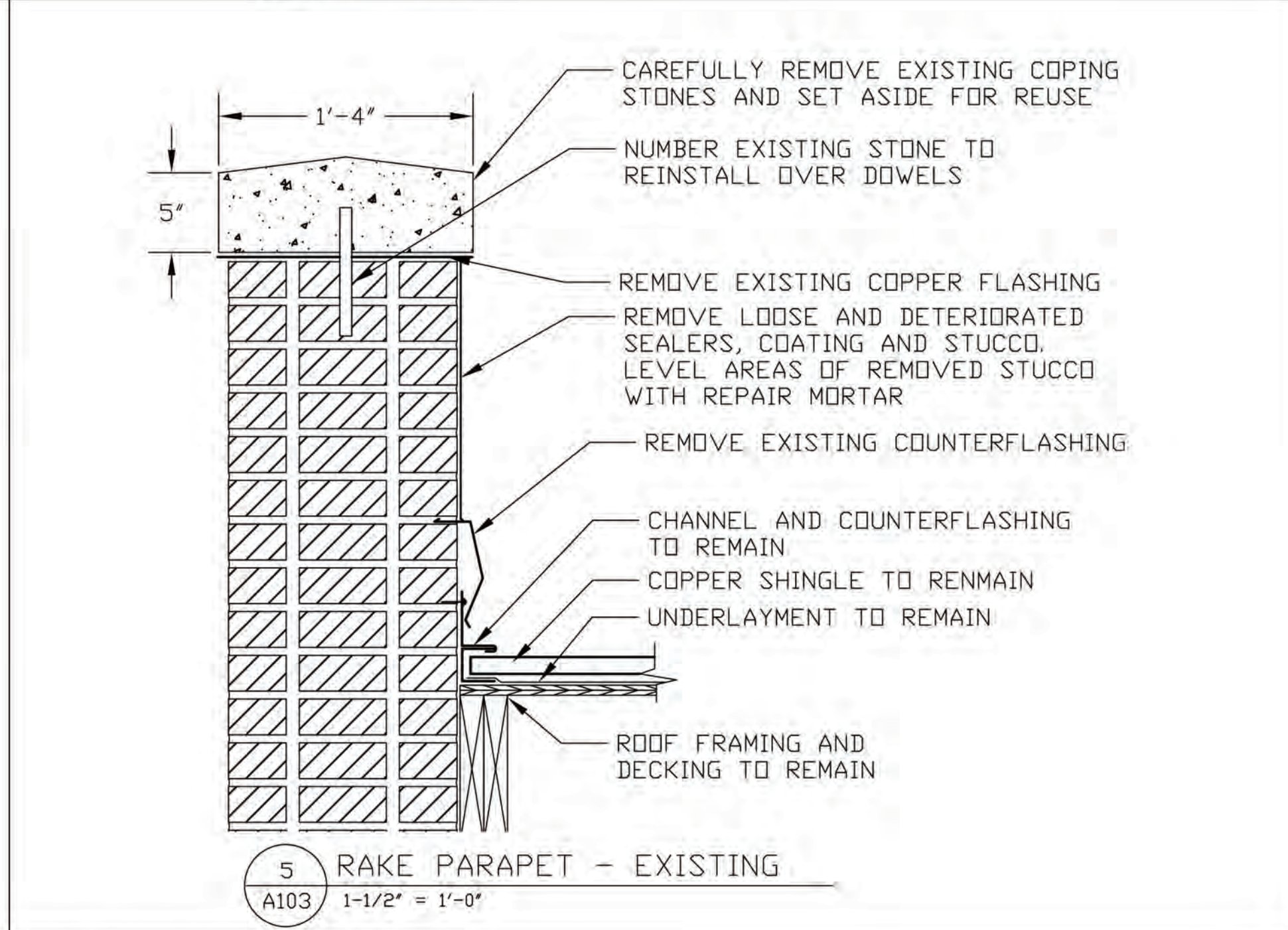
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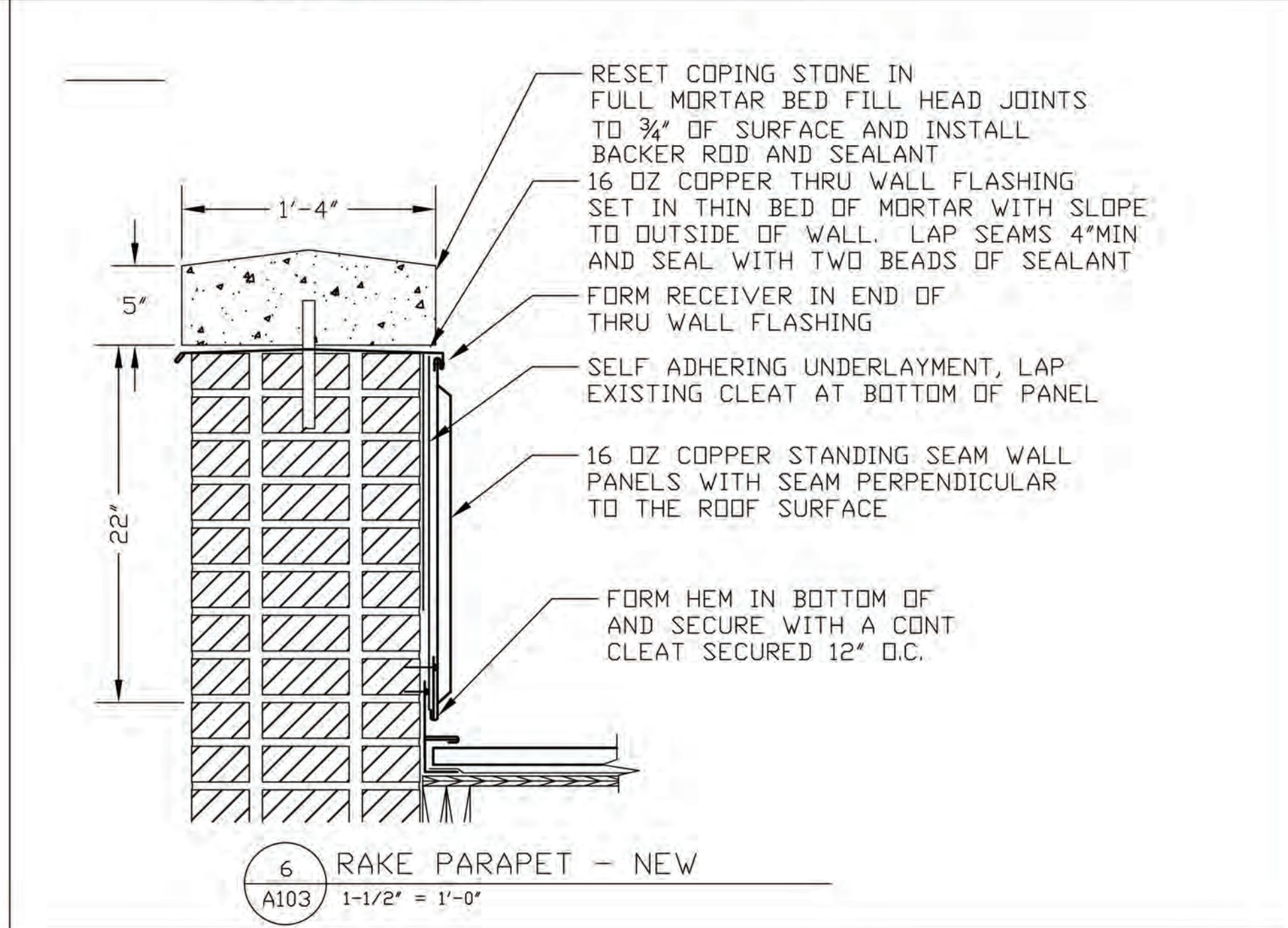
3 DRAIN OUTLET - EXISTING
A103 1-1/2" = 1'-0"



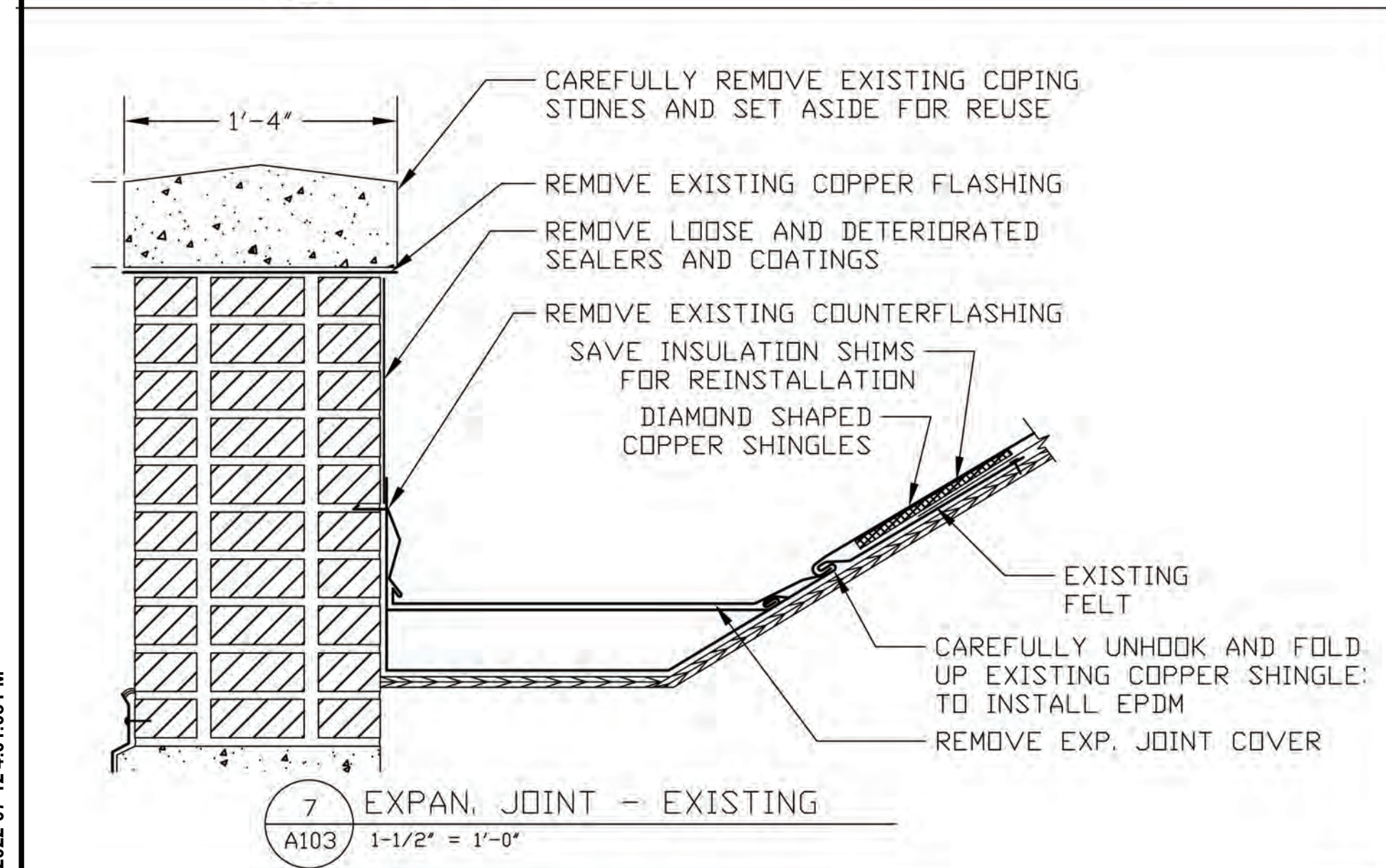
4 DRAIN OUTLET - NEW
A103 1-1/2" = 1'-0"



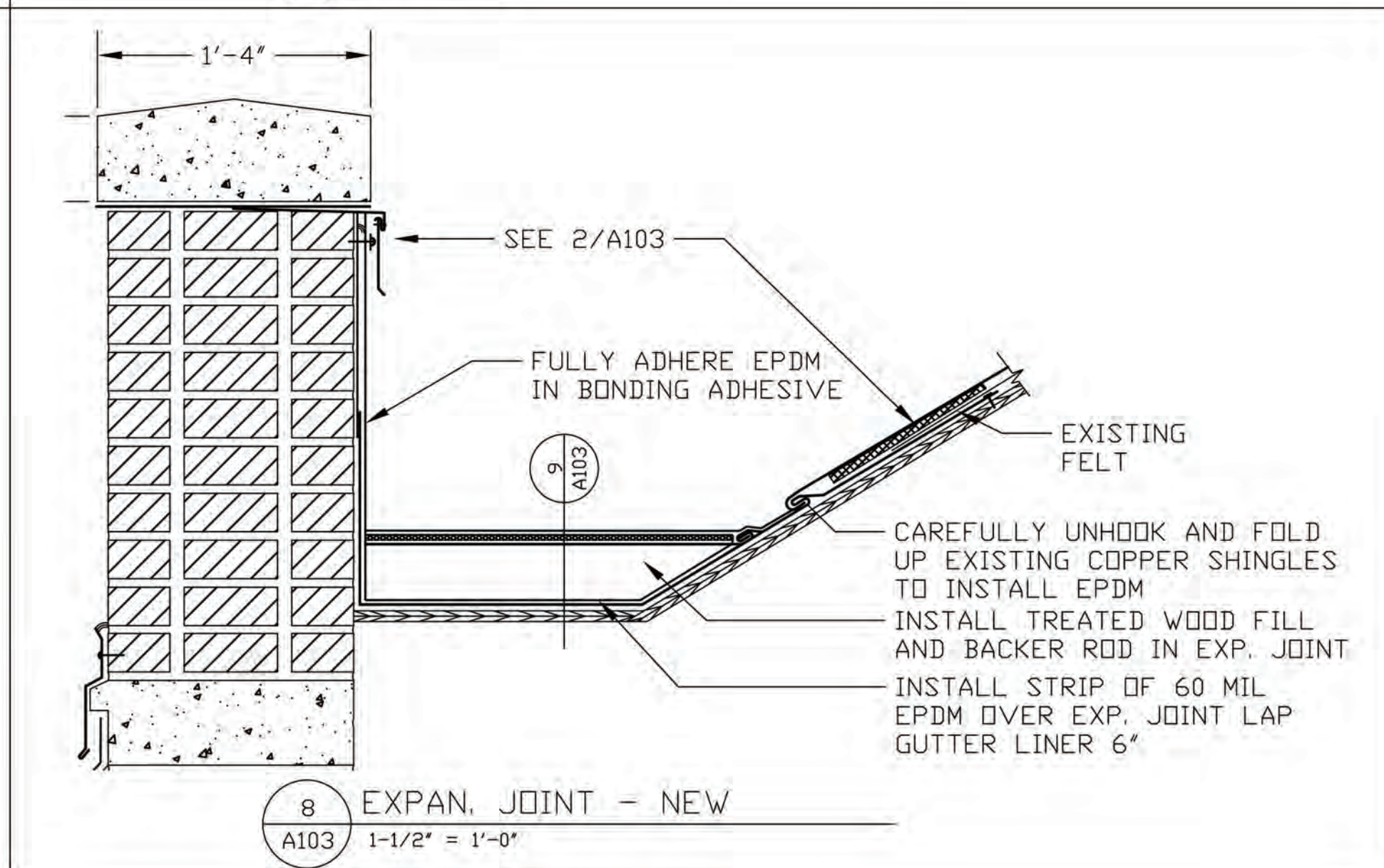
5 RAKE PARAPET - EXISTING
A103 1-1/2" = 1'-0"



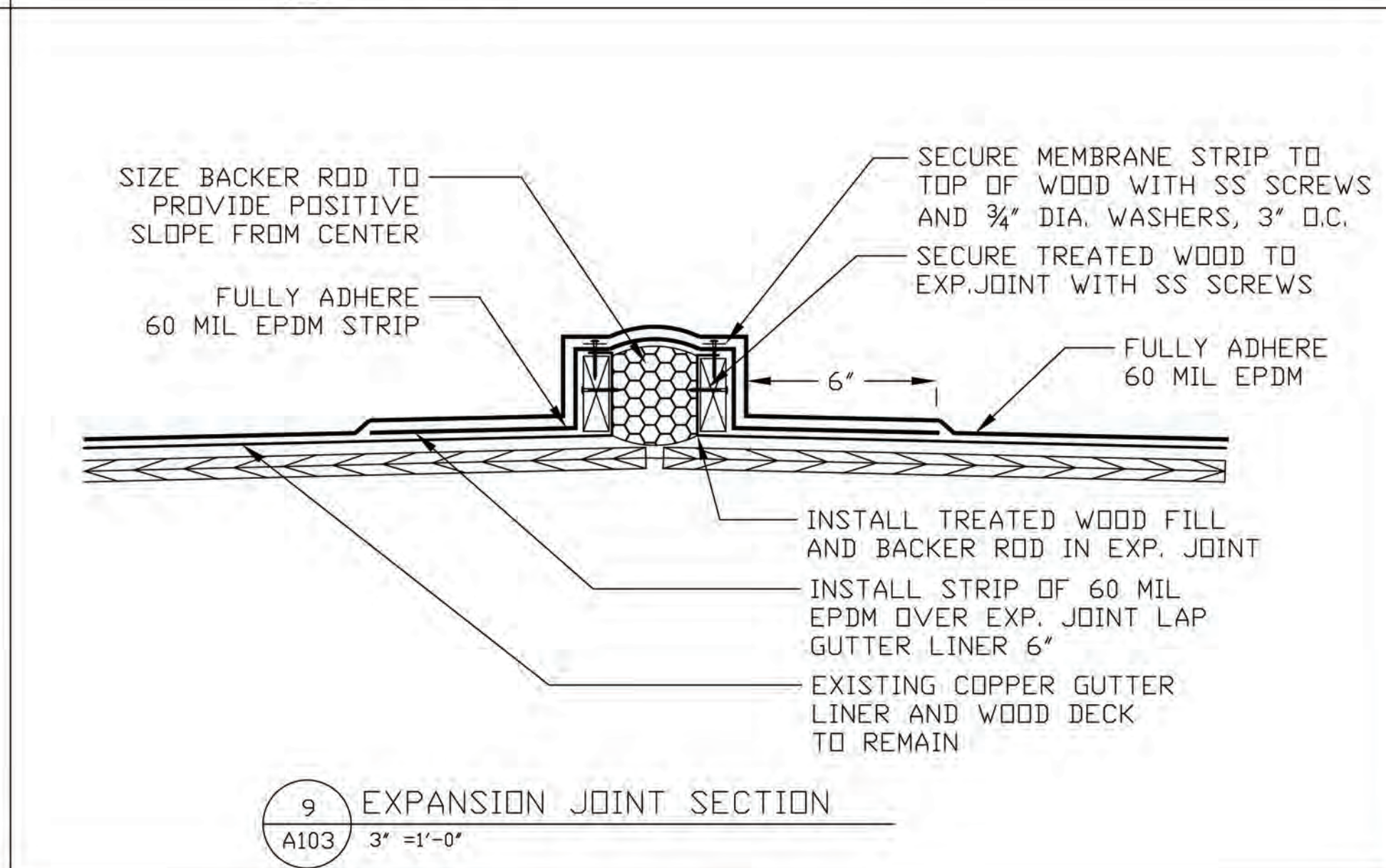
6 RAKE PARAPET - NEW
A103 1-1/2" = 1'-0"



7 EXPAN. JOINT - EXISTING
A103 1-1/2" = 1'-0"



8 EXPAN. JOINT - NEW
A103 1-1/2" = 1'-0"



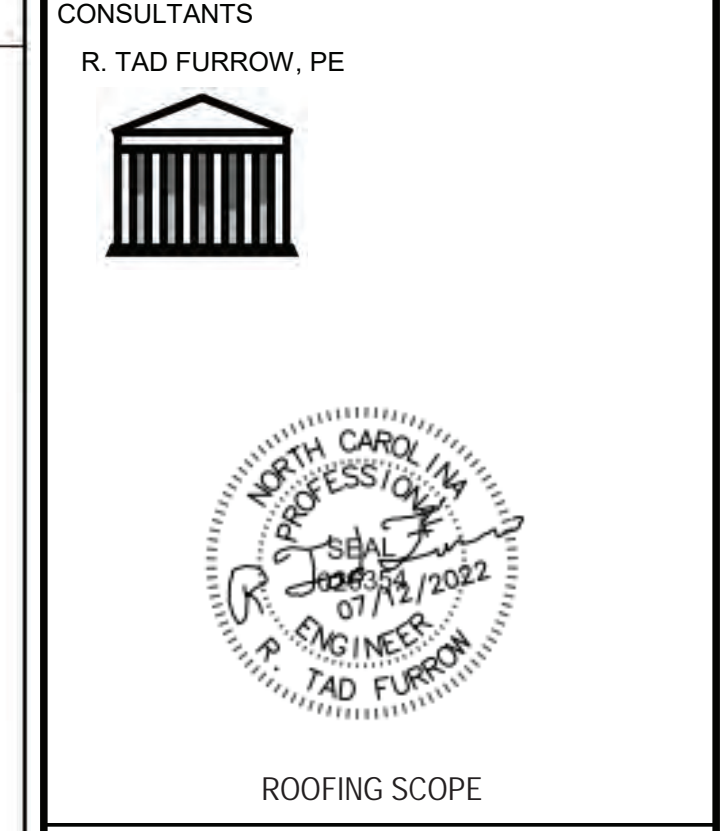
9 EXPANSION JOINT SECTION
A103 3" = 1'-0"



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SEAL
MARK A. HUMIENNY
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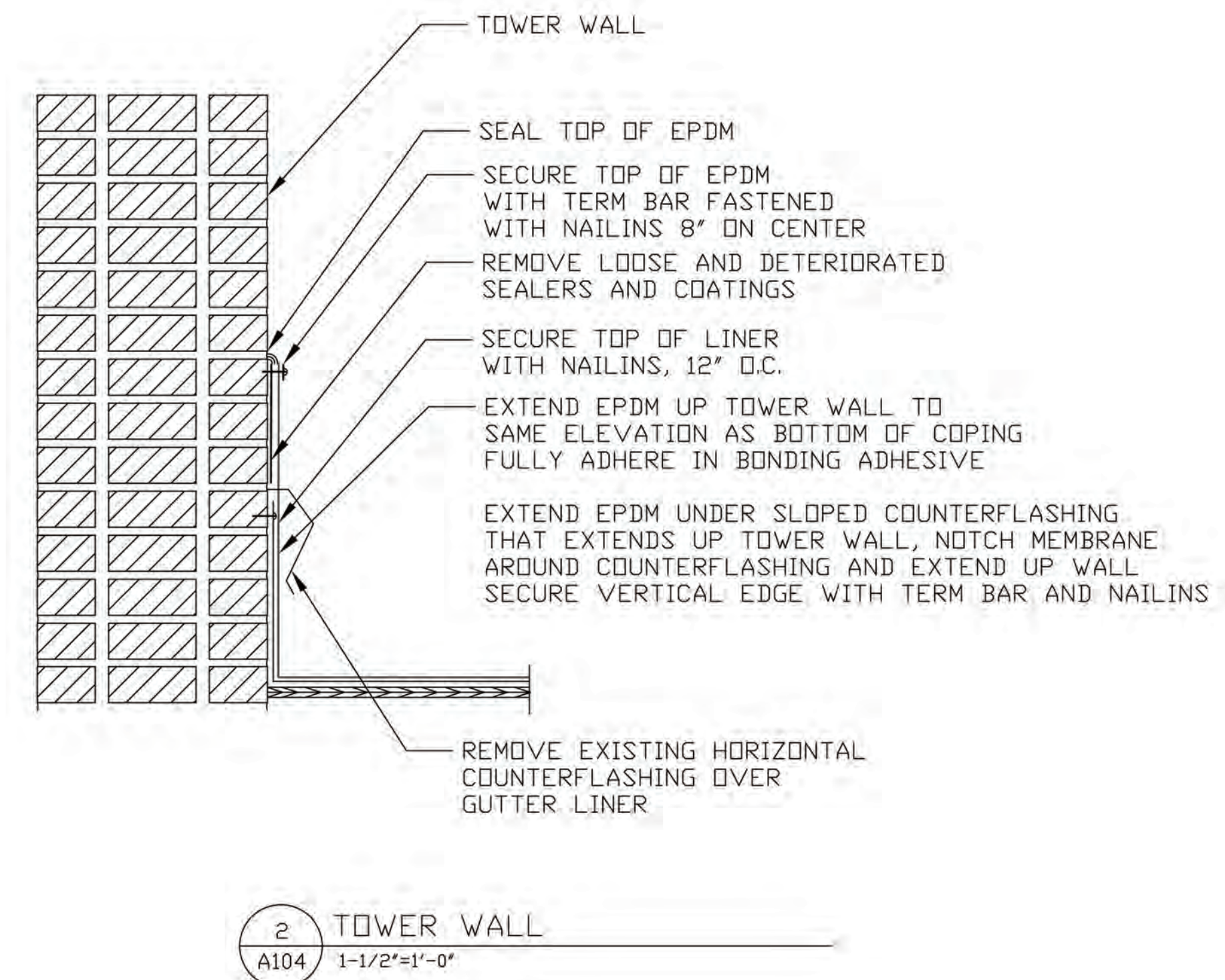
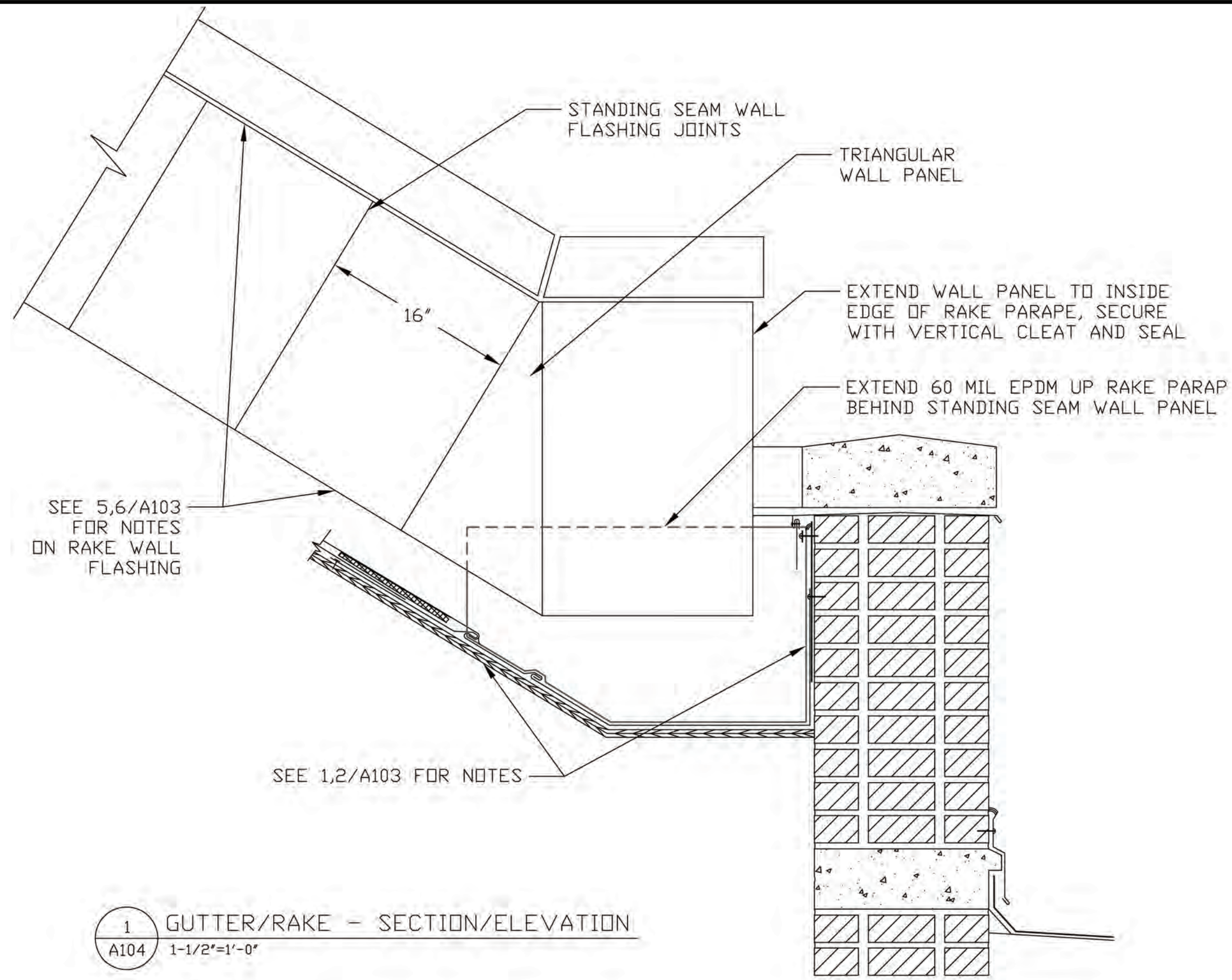
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PROJECT
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500 East Railroad St
Selma, NC
27576

PROJECT NO: 137370
DRAWN BY: T. Furrow
PROJECT MGR: M. Humienny
SCALE: 1 1/2" = 1'-0"
SHEET TITLE: ROOF DETAILS

CHECKED BY: S. Tucker
APPROVED BY: M. Humienny
DATE: 7/12/22

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ISSUE: 0



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ROOFING SCOPE

SEAL

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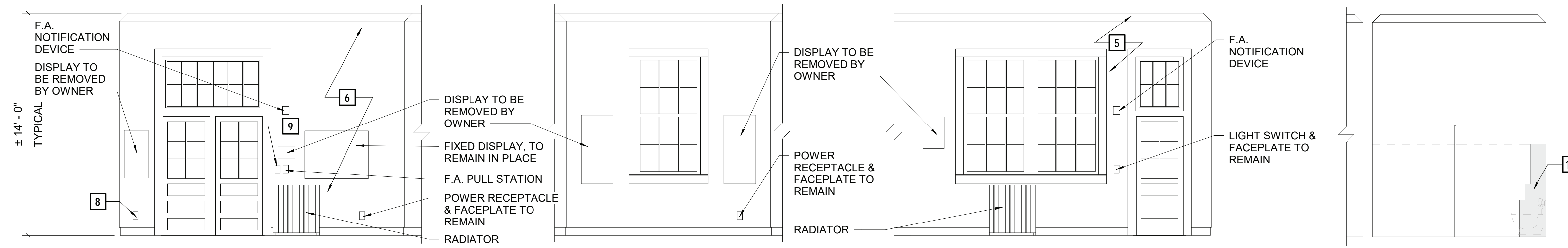
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SCALE: 1 1/2" = 1'-0"

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APPROVED BY: M. Humienny
DATE: 7/12/22

SHEET TITLE
ROOF DETAILS

SHEET NUMBER A104
ISSUE 0

NOTE: ALL INTERIOR FINISHES SCOPE FALLS UNDER A BID ALTERNATE. ANY INTERIOR WORK WITHIN THE ATTIC THAT IS RELATED TO ROOFING AND FLASHING SCOPE FALLS UNDER THE BASE BID.

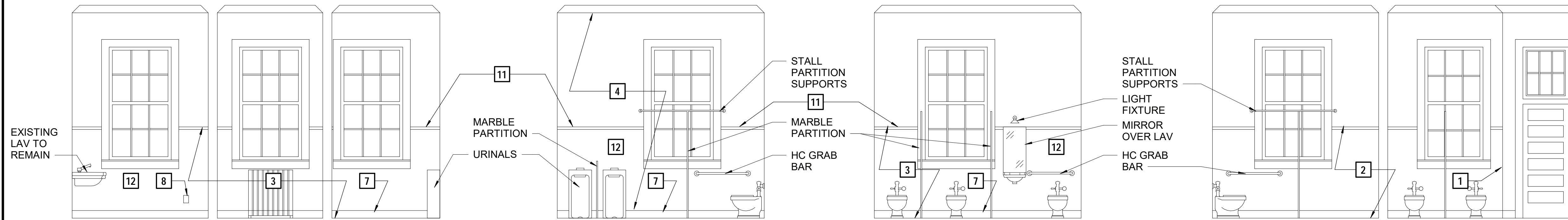


14 WAITING AREA NORTH ELEVATION 3
A201 Scale: 1/4" = 1'-0"

13 WAITING AREA NORTH ELEVATION 2
A201 Scale: 1/4" = 1'-0"

12 WAITING AREA NORTH ELEVATION 1
A201 Scale: 1/4" = 1'-0"

11 WOMEN'S NORTH ELEVATION
A201 Scale: 1/4" = 1'-0"

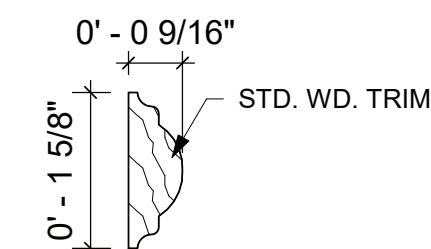


10 MEN'S NORTH ELEVATION
A201 Scale: 1/4" = 1'-0"

9 MEN'S EAST ELEVATION
A201 Scale: 1/4" = 1'-0"

8 WOMEN'S EAST ELEVATION
A201 Scale: 1/4" = 1'-0"

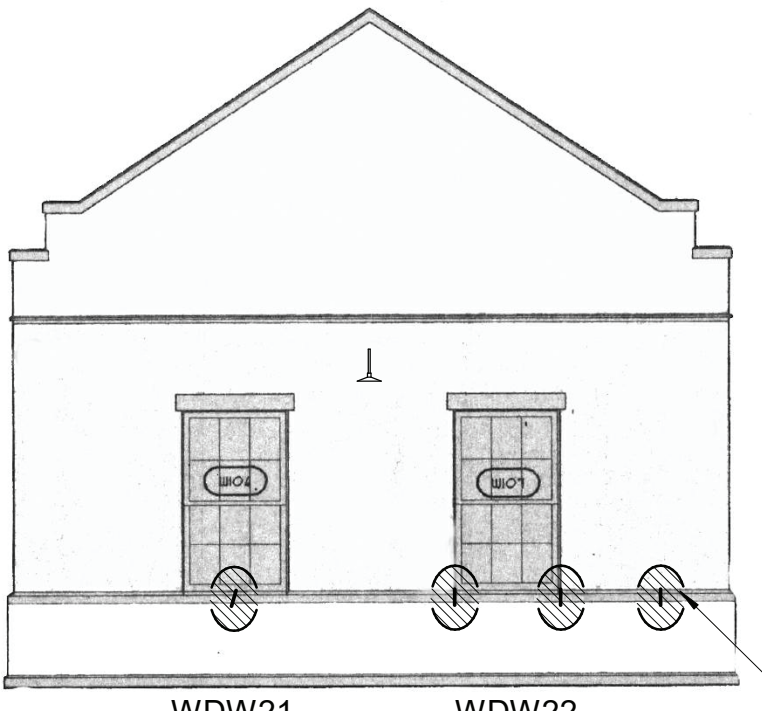
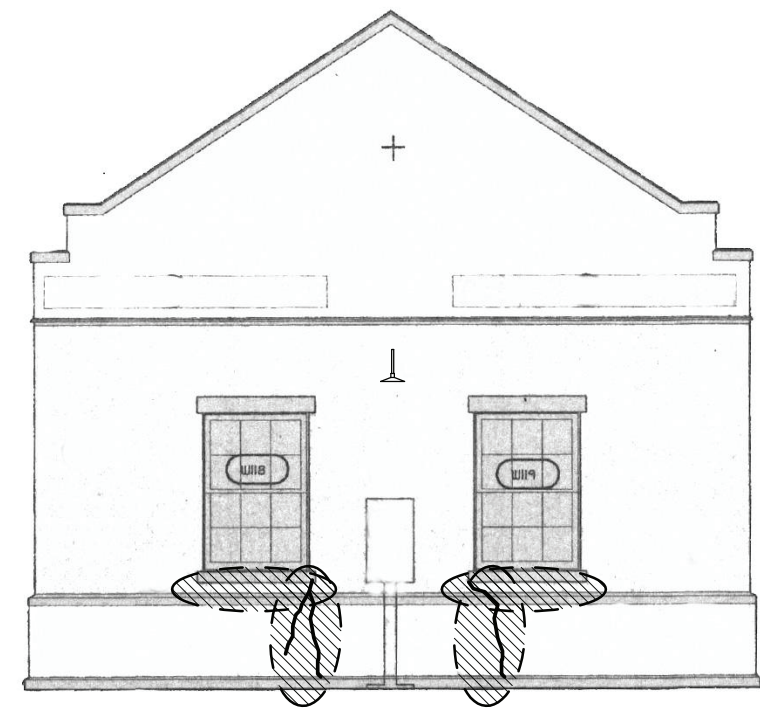
7 WOMEN'S SOUTH ELEVATION
A201 Scale: 1/4" = 1'-0"



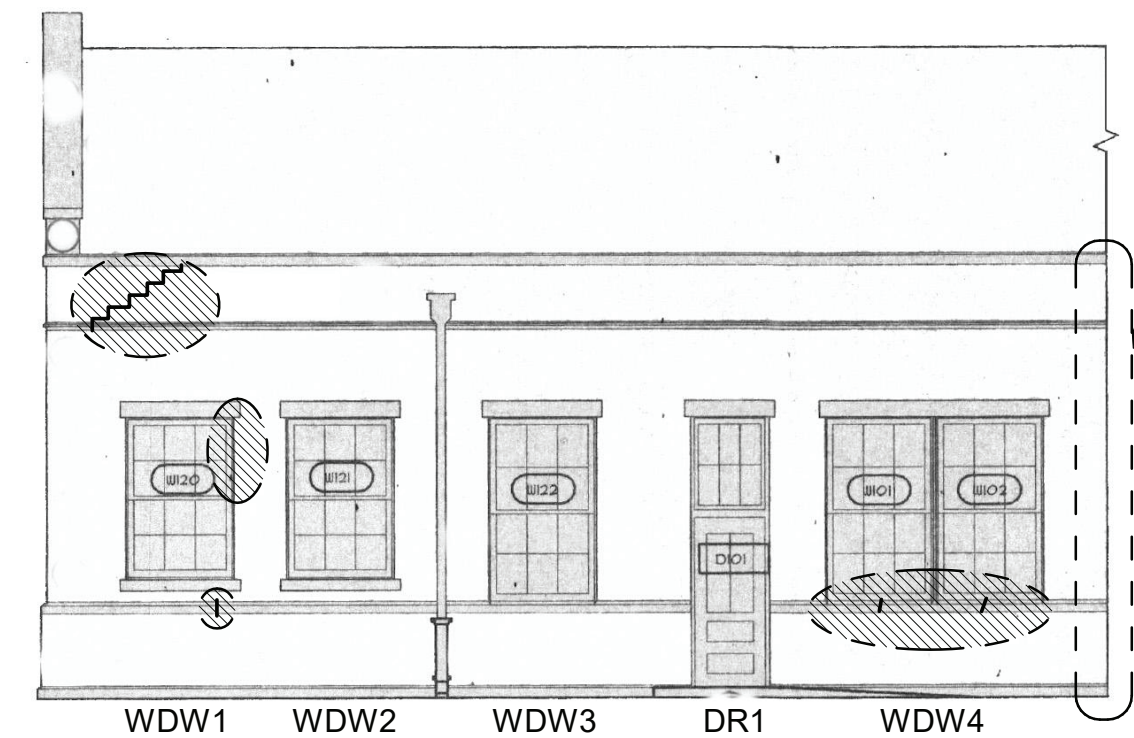
6 WOOD TRIM
A201 Scale: 6" = 1'-0"

5 WEST ELEVATION
A201 Scale: 1/8" = 1'-0"

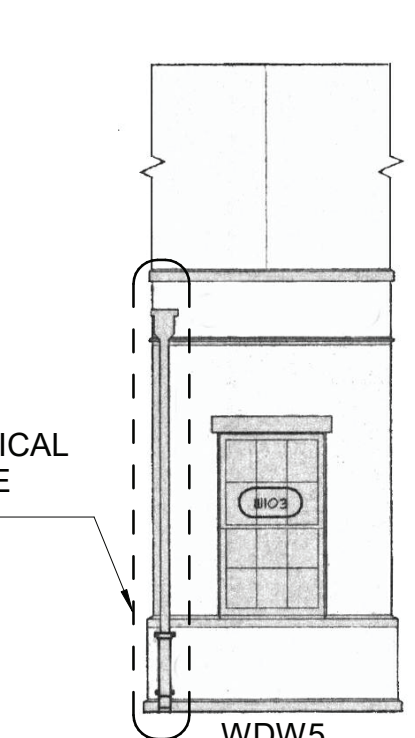
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A201 Scale: 1/8" = 1'-0"



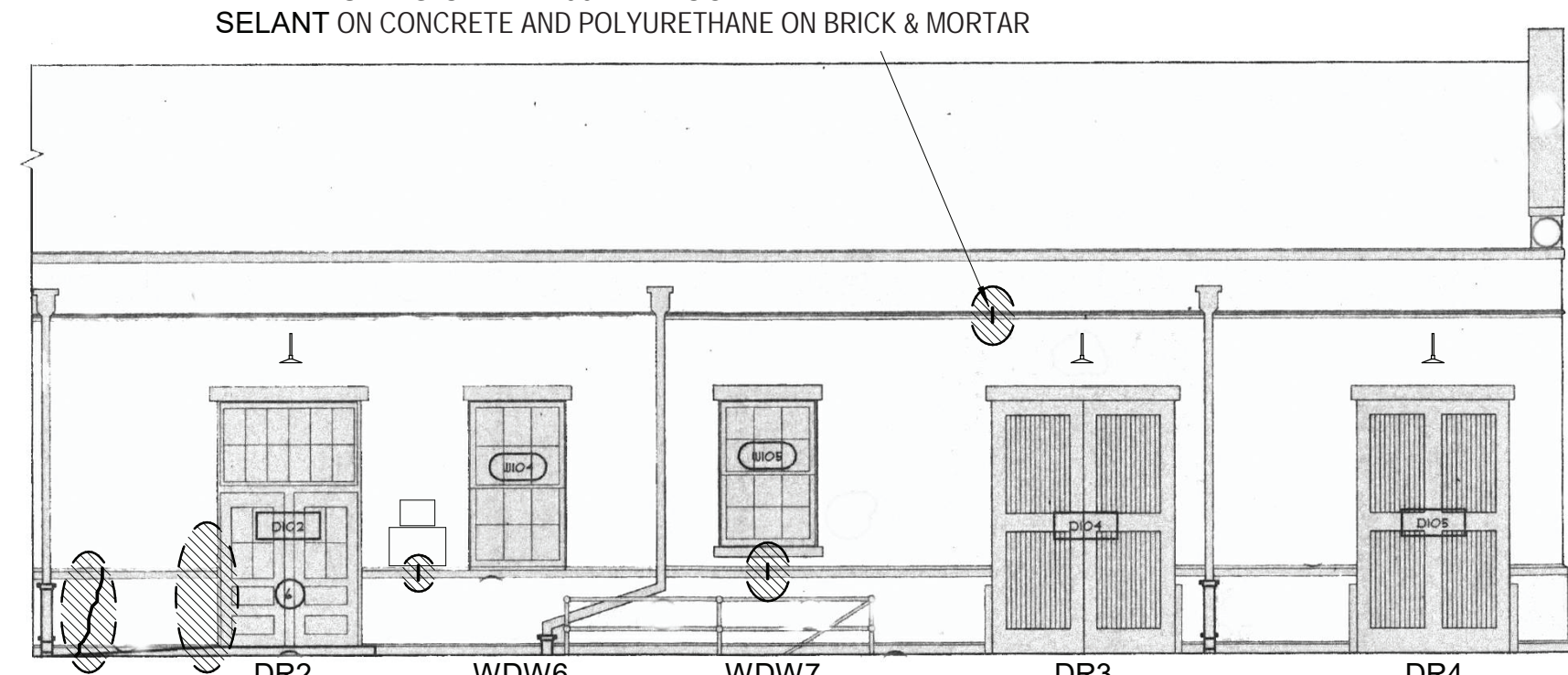
HATCHED AREAS ON EXTERIOR FACADES INDICATE LOCATIONS OF HAIRLINE CRACKS IN BRICK AND PRECAST TO BE SEALED USING CLEAR 100% SILICONE SELANT ON CONCRETE AND POLYURETHANE ON BRICK & MORTAR



3 NORTH ELEVATION A
A201 Scale: 1/8" = 1'-0"



2 NORTH ELEVATION B
A201 Scale: 1/8" = 1'-0"



1 NORTH ELEVATION C
A201 Scale: 1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

1. ALL MORTAR ON THE EAST, NORTH AND WEST FACADES ABOVE THE LOWER BELT COURSE AS WELL AS THE SOUTH FACADES ABOVE THE PLATFORM ROOF HAD BEEN REPOINTED IN THE 2002 RENOVATION EXCEPT THE FOLLOWING AREAS: WEST FAÇADE BETWEEN LOWER AND UPPER BELT COURSE.
2. ALL BRICK AND CONCRETE TRIM ARE ORIGINAL TO THE 1923 CONSTRUCTION EXCEPT THE PARAPET WALL CAPSTONES, WHICH WERE REPLACED IN THE 2002 RENOVATION.
3. CLEAN ALL MASONRY AND CONCRETE TRIM ON THE EAST, NORTH AND WEST FACADES.
4. SEAL ALL THRU-WALL PENETRATIONS AT PENDANT LIGHT FIXTURES ON THE EAST, NORTH AND WEST FACADES.
5. AFTER CLEANING, SEAL "HAIRLINE" CRACKS IN BRICK, MORTAR AND CONCRETE TRIM IN AREAS INDICATED ON FACADES. HAIRLINE CRACKS INCLUDE THOSE LESS THAN 1/8 INCH WIDE.
6. THE INTERIOR ELEVATIONS DEPICT TYPICAL CONDITIONS, BUT DO NOT ILLUSTRATE THE ENTIRE SCOPE OF INTERIOR WORK. REFER TO THE FLOOR PLAN AND ACCOMPANYING NOTES FOR THE WORK SCOPE.
7. THE BUILDING WAS ABATED IN THE 2002 RENOVATION AND ALL PAINTED SURFACES IN THE AREAS OF WORK ARE UNDERSTOOD TO DATE FROM THAT TIME. HOWEVER, CONTRACTOR SHALL FOLLOW OSHA 1926.62 AND NIBS 1995 WHEN DISTURBING PAINT.
8. EXERCISE CARE DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO THE STRUCTURE AND ITS OCCUPANTS. SEE SUMMARY OF WORK SPECIFICATION SECTION FOR ADDITIONAL LOGISTICAL CONSIDERATIONS.
9. BID ALTERNATE #1: AFTER COMPLETING THE EXTERIOR BRICK AND CONCRETE TRIM CLEANING, APPLY A SILANE-SILOXANE SEALANT OVER THE EAST, NORTH, AND WEST FACADES, INCLUDING THE PRECAST CONCRETE CAPSTONES.
10. BID ALTERNATE #2: AFTER COMPLETING THE EXTERIOR BRICK AND CONCRETE TRIM CLEANING, AND THE WORK OF BID ALTERNATE #1, IF TAKEN, PERFORM ALL INDICATED INTERIOR FINISHES WORK, INCLUDING PLASTER REPAIR.

KEYNOTES - ELEVATIONS

1. SEAL CORNER CRACK AT TILE WAINSCOT USING MATCHING GROUT
2. WALL TILE WAINSCOT TO REMAIN
3. REMOVE 6-FT H THIN-SET GLAZED WALL TILE WAINSCOT. PATCH AND REPAIR PLASTER WALL, AND RE-PAINT. REMOVE AND RE-INSTALL ALL TOILET ACCESSORIES, RADIATORS AND FIXTURES AS REQD.
4. PATCH AND REPAIR FULL HEIGHT OF PLASTER WALL, AND RE-PAINT. REMOVE AND RE-INSTALL ALL TOILET ACCESSORIES, RADIATORS AND FIXTURES AS REQD.
5. PATCH AND REPAIR UPPERMOST 4-FT OF PLASTER WALL, AND RE-PAINT.
6. PATCH AND REPAIR FULL HEIGHT OF PLASTER WALL, AND RE-PAINT. REMOVE AND RE-INSTALL ALL FA AND WALL SWITCH DEVICES, RADIATORS AND FIXTURES AS REQD.
7. NEW MATCHING COVED CT BASE TILE WITH ROUND TOP
8. POWER RECEPTACLE AND FACEPLATE TO BE REPLACED
9. LIGHT SWITCH AND FACEPLATE TO BE REPLACED
10. PATCH EXISTING CT WAINSCOT USING SALVAGED TILE
11. INSTALL STAINED WOOD TRIM ON WALLS AS INDICATED, ALIGN TOP OF TRIM WITH TOP OF ADJOINING TILE WAINSCOT. SEE 6/A201.
12. PAINT PLASTER WALL BETWEEN TOP OF NEW TILE BASE AND NEW WOOD TRIM IN WHITE COLOR TO MATCH WHITE TILE WAINSCOT.



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SHEET TITLE
ELEVATIONS

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